

# **Territory Builders Guide**

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JUNE 2016

## **BUILDERS INFORMATION PACKET ON THE WASTEWATER TREATMENT SYSTEM**



**Credit River Township  
18985 Meadow View Blvd.  
Prior Lake, MN 55372  
Phone: 952-440-5515**

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## **B1 – General Information (for Builders and ISTS Contractors)**

Builders in Territory:

Several developments within Credit River Township are installing community sewage treatment systems (CSTS). The installation process affects the builder, Township, Scott County, your subcontractors and the homeowner. Therefore a number of issues need to be communicated with all parties to help this process run as smoothly as possible.

Below are items you, your subcontractors and homeowners need to be aware of while construction occurs on your project:

### **GENERAL INFORMATION**

- This manual is intended to be used as an aid in guiding you through the installation of the individual Septic Tank Effluent Pumping (STEP) system process. The information in this packet may be updated periodically. Please consult with Credit River Township to determine if any changes have been made that supersede this document.
- The homeowners shall be provided with information on their system. Please provide your homeowners with the “HOMEOWNER’S MANUAL” portion (section) of this packet.
- The builder shall provide a copy of the as-built drawing to the homeowner and to the Township.
- All lots will be assessed monthly wastewater service fee. The current fee can be obtained by contacting Credit River Township.

## **B-2 – The Inspection Process**

### **Credit River Township Adopts New Septic Tank Inspection Policy for Developments Served by Community Sewage Treatment Systems**

Introduction: Scott County had historically required duplicative permits for homes served by community sewage treatment systems (CSTS's). In the past, the County required an inspection process for septic tank inspections as part of verifying compliance with Scott County's requirements. However, during the summer of 2010, the County determined the duplicative permits were no longer necessary and the Township would be responsible for future inspections.

Effective October 5, 2010 Credit River Township will assume responsibility of septic tank inspections at the following developments: Territory, Stonebridge and Monterey Heights/South Passage.

New Process: Builders/Contractors requesting permits for new construction shall follow the newly adopted procedure identified below:

1. Applicants shall provide a scaled drawing showing the septic tank/wastewater infrastructure location on the lot meeting all appropriate setbacks.
2. Prepare application for COMMUNITY SEWAGE TREATMENT SYSTEM (CSTS) PERMIT. Forms are provided at the Credit River Township Town Hall.
3. Once approved by the Township Engineer, construction of the wastewater system on the lot may begin.
4. Contractor shall set an inspection time with Natural Systems Utilities, the Township Inspector at 763-486-5736 or 651-491-6772 48 hours in advance of the septic tanks being installed on the lot.
5. Natural System Utilities will perform the inspection (see sample inspection sheet) to confirm it substantially conforms to the plan.
6. The vacuum test shall be conducted during the same inspection.
7. If not in compliance, the inspector will identify the deficiencies and the contractor shall schedule a follow up inspection at an additional cost until the system is in compliance.
8. All fees are established by Credit River Township's fee ordinance.

# Engineering Specifications for Individual STEP System Installations

## **B-3 – Engineering Specifications for STEP Systems**

### **0328.0.0 ONSITE SEPTIC TANKS/PUMP TANKS FOR SINGLE FAMILY DWELLINGS IN SCOTT COUNTY**

#### **1. General:**

The following specifications shall apply to all contractors who install the septic tank, pump tank, forcemain, etc. out to the connection near the road.

- a. Septic tank capacity shall be a minimum of one 1,250 gallon septic tank and one 2,000 gallon tank with two compartments, be precast concrete or fiberglass and meet MN Rules 7080. The sewer district's engineer or his representative shall inspect all installations:
- b. Tanks requiring deep burial (>36") or subject to traffic loading require special consideration and permission of sewer district's engineer. (A minimum soil cover of 12 inches shall be used, unless specified otherwise by manufacturer.)
- c. Tanks shall be manufactured and furnished with access openings 24 inches in diameter and of the configuration shown on the manufacturer's drawings. Modification of completed tanks will not be permitted.
- d. Inlet plumbing shall include an inlet tee or factory baffle which penetrates 18 inches into the liquid from the inlet flow line. The inlet plumbing shall allow for natural ventilation back through the building sewer and vent stack. Place inlet tee directly under inspection pipe.
- e. Tanks shall be capable of successfully withstanding an above-ground static hydraulic test and shall be individually tested.

#### **2. Concrete Tanks:**

- a. Tanks may be protected by applying a heavy cement-base waterproof coating (Thoroseal or equal), on both inside and outside surfaces, in compliance with Council of American Building Officials (CABO) report #NRB-168; 6181, however the tank should be watertight without the addition of seal coatings.
- b. Tanks shall be manufactured and furnished with access openings of the size and configuration to accommodate individual packaged pump systems. For 24-inch diameter access risers, the tank manufacturer shall cast in place a flanged tank adapter to facilitate the bonding of a 24-inch diameter access riser. The flanged tank adapter shall be made of 1/4" thick ABS and shall have an outside diameter of 27 inches and an inside diameter of 22-3/4 inches. The flanged adapter shall be Orenco Systems®, Inc. Model PRTA24 or engineer-approved equal. The adapter must have an overall height of no less than 3 inches to allow 1-1/2" exposed for sufficient bonding area once the adapter is installed in the tank. In lieu of the flange, the riser may be cast directly into the top of the tank. The septic tank and the top slab shall be sealed with a preformed flexible plastic gasket. The flexible plastic gasket shall be equal to the flexible butyl resin sealant congeal CS-102 or CS-202 as manufactured by Concrete Sealants, Inc. of New

Carlisle, Ohio, and shall conform to federal specification SS-S-00210(2iOA) and AASHTO M-198.

- c. Inlets to the septic tank will be watertight pipe seal Ty Seal or equal as approved by the Engineer. Each tank shall be tested after installation, by filling with water to 6" above the highest penetration in the riser. After 24 hours, the tank shall be refilled to a point two inches, (2") above any penetration into riser and the exfiltration rate shall be determined by measuring the water loss during the next two (2) hours. In lieu of the water test a vacuum test is required after installation. The vacuum test must keep a 4" height for 5 minutes. The riser must also be included in the test. **Any leakage on either test shall be cause for rejection.**

## **03280.01 RISERS & LIDS:**

### **1. Risers:**

- a. Risers shall be required for access to internal vaults and access into the septic tanks for septage pumping. All risers shall be constructed watertight. The risers shall be attached to the tanks such that a watertight seal is provided. Risers shall extend three inches (3") above original grade to ensure a positive drainage away from the access. Risers for inspection ports shall be a minimum of 24 inches in nominal diameter. Risers containing pumping assemblies shall be a minimum of 24 inches in diameter and shall be of sufficient diameter to allow removal of internal vaults without removing plumbing or wiring. Adhesive required to adhere the PVC or fiberglass risers to either fiberglass or ABS tank adapter shall be either a two-part epoxy, Model MA320 or equal, or a single component adhesive Model ADH100 or equal.

### **2. Outlet Risers:**

Outlet risers shall be ribbed PVC as manufactured by Orenco Systems®, Inc. or engineer-approved equal. The material shall be PVC as per ASTM D-1784 and tested in accordance with AASHTO M304M-89. Risers shall be at least 12 inches high, shall have a minimum nominal diameter of 24 inches for simplex pumping applications, and shall be factory-equipped with the following:

- a. Electrical and Discharge Grommets: Neoprene grommets shall be installed for discharge piping, vent piping, and/or the electrical conduit to assure a watertight seal. The grommet material must be EPDM synthetic rubber in accordance with MIL-STD-417, 60 durometer.
- b. Adhesive: When bonding to concrete or fiberglass grooves, a two-part epoxy, 24-inch diameter riser and one quart required per 30-inch diameter riser, Model ADHP10 or ADHQ10, or equal shall be used. When bonding to a flanged riser tank adapter, either a two-part epoxy, Model MA320 or equal, or a single component adhesive Model ADH100 or equal shall be used.

- c. Shall be wrapped with insulation for freeze protection. Insulation shall be 4 inches of closed cell foam around the top 18 inches of the riser.

**3. Lids:**

- a. One lid shall be furnished with each access riser. Lids shall be Orenco Systems®, Inc. Model FL24-GI4-4BO-W or engineer-approved equal, as appropriate, fiberglass with green non-skid finish, and provided with TEK 14 x 2 Stainless Self Drilling Fastenal PN 31963 or equal. The riser and lid combination shall be gasketed and able to support a 2500 lb. wheel load. (Note: This is not to imply that PVC risers are intended for traffic areas.)

**4. Insulation:**

- a. Rigid closed-cell foam insulation of 4” thickness shall be mechanically attached to the underside of the lid. All fasteners shall be made of corrosion resistant stainless steel. The insulation shall have an R-value of no less than 10 per 2” increment.

**5. Riser Installation:**

- a. Riser installation shall be accomplished according to the manufacturer's instructions.

**03280.2 SEPTIC TANK EFFLUENT PUMPING ASSEMBLIES:**

All pumping systems shall be supplied by a reputable manufacturer with at least five years of experience in supplying equipment for effluent sewers. References must be available on request from the engineer. Systems shall be Orenco Systems®, Inc. High-Head Pumping Assemblies or engineer-approved equal, composed of:

**1. Risers & Lids:**

- a. Same as B, 2 through 5, above.

**2. Screened Pump Vault:**

- a. Orenco Systems®, Inc. Model PVU 57-189, (external flow inducer) Biotube® Pump Vault or engineer-approved equal, installed in conformance with the engineer’s plans. The filter shall have a minimum effective screen area of no less than 15.1 square feet. The Biotube® Pump Vault shall consist of a 12-inch diameter, 57-inch deep PVC vault with eight (8) 1-3/8 inch diameter holes evenly spaced around the perimeter, located appropriately to allow for maximum sludge and scum accumulation before requiring pumping (Holes set at 65% to 75% of minimum liquid level). Housed inside the PVC vault shall be the Biotube® assembly consisting of 1/8-inch mesh polypropylene tubes. Attached to the vault is a 4-inch diameter flow inducer to accept the high-head effluent pump.



**3. Discharge Hose and Valve Assembly:**

- a. Orenco Systems®, Inc. Model HV100BCFCASX, 1-inch diameter, 150 psi PVC ball valve, 150 psi PVC check valve, PVC flex hose with working pressure rating of 100 psi, and Schedule 40 PVC pipe. **Include anti-siphon assembly unless the treatment site is definitely more than 50 feet above the connection being made.** Pump unions must be within arm's reach (15" of lid) and disconnectable without entering rise. Shut off valves must be operable from the top of the riser. Screened pump vault must be removable by only disconnecting pump union.

**4. Float Switch Assembly:**

- a. Orenco Systems®, Inc. Model MF3A-YBRW-27V with 20' cords with three switch floats mounted on a PVC stem attached to the filter cartridge. The floats must be adjustable and must be removable without removing the pump vault. The high- and low-level alarms and on/off function shall be preset as shown in the engineer's plans. The floats shall be UL or CSA listed and shall be rated for a minimum of 5.0A @ 120 VAC.

**5. High-Head Effluent Pump:**

- a. Must be approved for use in pump vault as described in D2. For all individual applications, an Orenco Systems®, Inc. Model P100511, 1/2 hp, 115 VAC, single phase, 60 Hz, two-wire motor, with 20-foot long extra heavy duty (SO) electrical cord with ground. Pump shall be capable of providing a flow rate of 5 gpm against a head of 200 feet, or 10 gpm against a head of 135 feet. When used in conjunction with a flow controller, the pump shall be capable of providing 5 gpm against a head of 160 feet. Pump shall be UL and CSA listed as an effluent pump. Pump shall be provided with a non-prorated five-year warranty.
- b. Warranty cards shall be provided by the Contractor at the time of the inspection with all information completely filled out.

**6. Electrical:**

- a. Electrical wires are to be water and vapor sealed wherever it enters and leaves conduit. Single family home control panels require 1 individual branch circuit for the pump and another circuit for the alarm. The Alarm circuit can be shared with other loads in the house. Neither are to be on a GFI. Run a separate electrical circuit from the control panel to the main box at the house.
- b. The pump control panel shall be equipped with dial-up telemetry. Phone wiring is to be lightning protected on both ends and installed per NEC. It should be connected to building phone wiring after building alarm panel.

**7. Controls and Alarms:**

Controls and alarms shall be listed per UL 508. Panels shall be repairable in the field without the use of soldering irons or substantial disassembly. Panel

shall be Orenco Systems®, Inc. Model VCOM-S1 RO HTSA PSA control panel meeting the following:

### **Control Panel Standard Components**

- a. Motor-Start Contactor: 115 VAC: 14 FLA, 3/4 hp, 60 Hz; 2.5 million cycles at FLA (10 million at 50% of FLA). 230 VAC: 14 FLA, 2 hp, 60 Hz; 2.5 million cycles at FLA (10 million at 50% FLA).
- b. Toggle Switch: Single-pole, HOA switch. 20 amps, 1 hp.
- c. Controls Circuit Breaker: 10 amps, OFF/ON switch. Single-pole 115 VAC. DIN rail mounting with thermal magnetic tripping characteristics.
- d. Pump Circuit Breaker: 20 amps, OFF/ON switch. Single-pole 115 VAC, double-pole 230 VAC. DIN rail mounting with thermal magnetic tripping characteristics.
- e. Audio Alarm: 80 dB at 24”, warble-tone sound.
- f. Visual Alarm: 7/8” diameter red lens, “Push-to-silence.” NEMA 4, 115 VAC
- g. Panel Enclosure: NEMA 4X rated. Constructed of UV-resistant fiberglass; hinges and latch are stainless steel. Conduit couplings provided.
- h. S1RO Panel Ratings: 115 VAC, 3/4 hp, 14 amps, single phase, 60 Hz.
- i. Telemetry Unit – VCOM-S1 W/HT
- j. Power surge arrestor
- k. Phone surge arrestor
- l. DSL Filter

### **8. Installation:**

- a. All pumping system components shall be installed in accordance with the manufacturer's recommendations, the engineer's plans, and all state and local regulations. Include all necessary electrical to connect to panel for residence including two separate electrical connections.

### **9. Location:**

- a. The pump control panel shall be mounted on a post close to the tank and pump. The control panel shall be located within 10 feet and in sight of the pump motor. The panel should be located at a convenient height (usually about five feet above the ground).

### **10. 1” services Tracer wires on**

- a. Contractor shall place tracer wire on service from service connection to tank. Extend tracer wire through conduit into control panel.

## 11. General Information

- a. Inspections shall be scheduled on set dates as per Credit River Township.
  
- b. **Contractor is required to provide a scaled as-built drawing of the installation to the Credit River Township inspector. A copy of the as-built shall be provided to the Builder and the Builder shall supply that copy to the Homeowner. The Builder is responsible to complete this.** Drawing shall include the house footprint, service line to the septic tank, control panel, septic tank and sizes, 1-inch service line location, and the location of the curb stop. The drawing shall be provided on form provided by the Township.

### CAUTION:

1. Open manholes are potentially hazardous, so it is essential that the lids be bolted securely at all times.
2. The atmosphere in interceptor tanks can be dangerous, so maintenance should be performed only by trained personnel.
3. Control/alarm panels should be mounted out of the reach of small children and must be kept locked.

# Credit River Township Inspection Form

# Credit River Township STEP System Installation Inspection

Report Number:  
(Report number is number in the address –  
Development - the number of the inspection)

Date of Inspection: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 RTU Number of Panel: \_\_\_\_\_  
 Septic Tank Manufacturer: \_\_\_\_\_  
 Installer Name: \_\_\_\_\_  
 Phone Number: \_\_\_\_\_  
 On-site Representative of Installer: \_\_\_\_\_  
 Inspected by: \_\_\_\_\_

Pass	Fail	Comments	Inspection Points
			Flanged Adapter – Orenco Systems Model PRTA24 – Adapter shall have a height of no less than 3 inches.
			Riser is a minimum of 30 inches in diameter when bury depth is 36 inches or greater. All other risers shall be a minimum of 24 inches in diameter.
			Risers shall extend three inches (3”) above finished grade to ensure positive drainage away from the access.
			Outlet risers shall be ribbed PVC.
			Epoxy used shall be Model MA320 or ADH100.
			Lids shall be model number FL24GI4-4BO-W (with warning label).
			Insulation shall be installed on the top 18” of the riser and shall consist of 4-inches in thickness of closed cell foam.
			Screened pump vault shall be Biotube Pump Vault PVU57-1819.
			Discharge hose and valve assembly shall be model HV100BCFCASX. This includes the ball valve, check valve, flow control, anti siphon, flex hose and insulation bag.
			Three floats shall be Model MF3A-YB,R,W-27V-20 (YB – high water level alarm, pump on, R-Pump off, W-Redundant off low level alarm). 20-foot cord length. Floats are mercury.
			Orenco pump shall be model P100511, 1/2 HP 115 VAC single phase with 20 foot cord.
			Pump carries a 5-year warranty.
			No splice box installed.
			Controls and alarms consist of VCOM-S1ROHT SA PSA (Panel S1RO with heater, power surge arrestor and telephone surge arrestor).
			Control Panel shall be located within 3 feet of the manhole access to the pump.
			Tracer wire is routed in conduit and is terminated in Control Panel.
			Septic tank passes vacuum test.
			Electrical is hooked up.
			Phone line is hooked up.
			Floats are set correctly.
			DSL Filter provided in panel.
			As-built drawing provided by contractor.
			Curb stop is opened and pump is operational.
			Location of panel is satisfactory for maintenance and line of sight.

Inspection Results:     Pass             Fail

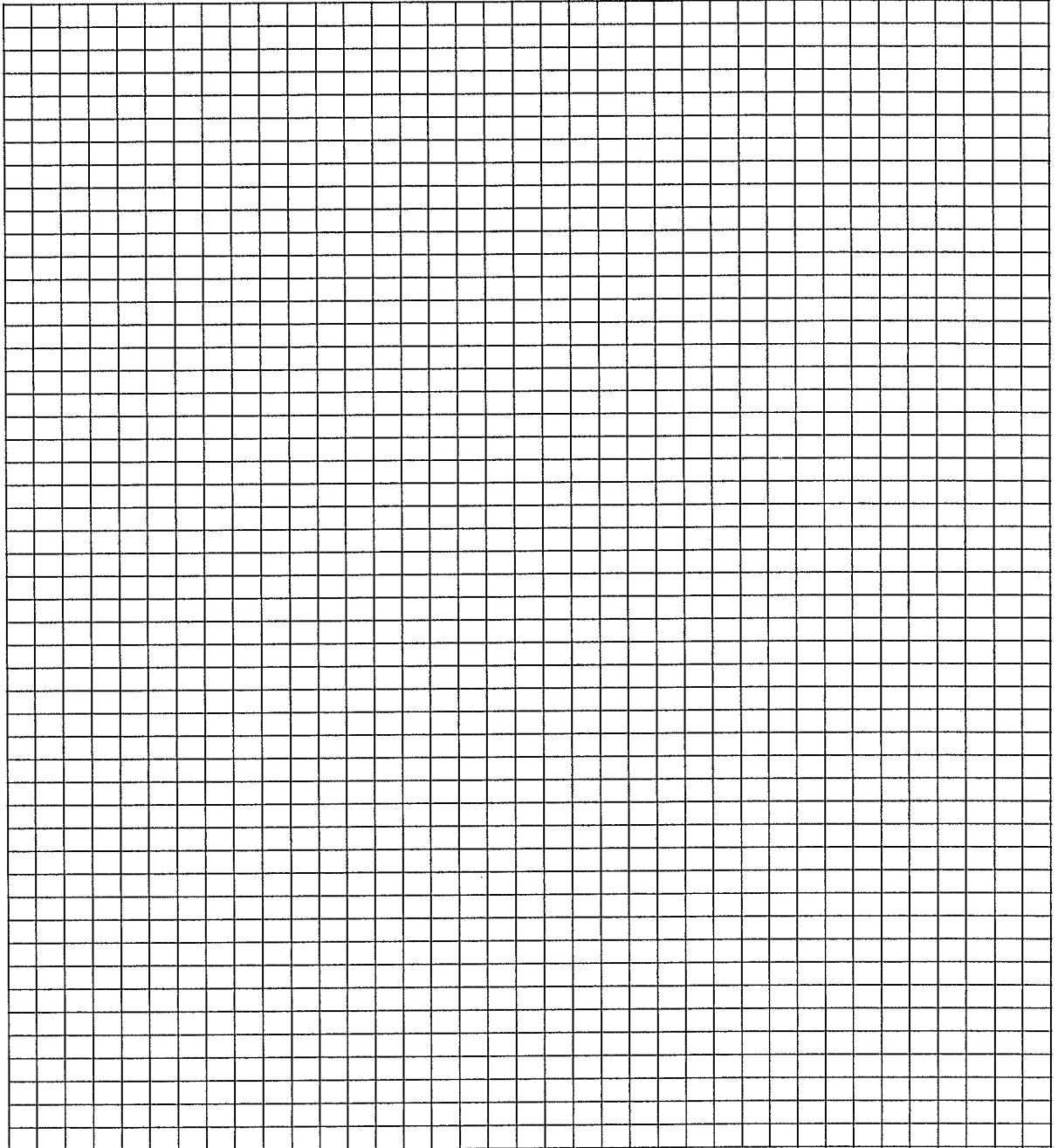
Comments: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

# As Built Drawing Form

# B-5 - Credit River Township ISTS As-Built drawing

Development Name: \_\_\_\_\_  
Address: \_\_\_\_\_  
Owner: \_\_\_\_\_  
Contact: \_\_\_\_\_  
Phone Number : \_\_\_\_\_  
Phone Number (cell): \_\_\_\_\_  
Date of Completion: \_\_\_\_\_

Map Scale: \_\_\_\_\_



Note: This drawing shall be scaled and the following items are required to be placed on this drawing. Failure to do this will result in a non compliant inspection and a CO will not be issued.

Show the following items on the map

- |                              |                             |   |
|------------------------------|-----------------------------|---|
| ___ Indicate North           | ___ septic tank #1 location | ___ phone line to panel                 |
| ___ Show slope and direction | ___ septic tank #2 location | ___ electrical line to panel            |
| ___ Property line            | ___ Pump tank location      | ___ water well location (if applicable) |
| ___ Dwelling                 | ___ Service line location   | ___ tracer wire access location         |
| ___ Service line to house    | ___ Curb Stop for property  |   |

# Homeowners Guide



# The Territory Homeowners Guide

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JUNE 2016

## HOMEOWNERS INFORMATION PACKET ON YOUR WASTEWATER TREATMENT SYSTEM



**Credit River Township  
18985 Meadow View Blvd.  
Prior Lake, MN 55372  
Phone: 952-440-5515**

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## **Section H1 – Service Providers for the Township**

Contact these individuals if you experience problems with your system. For nonemergency situations, please contact the Direct Business line during normal business hours.

Natural Systems Utilities Direct Business Line – 763-434-5660 (normal business hours)

763-486-5736 (First to Contact)

651-491-6772

Contact the above numbers immediately if:

- You observe water on the ground that may be related to the septic system (please ensure there is no irrigation lines that may be the cause of the problem).
- Your audible alarm is activated. The personnel that you contact from the numbers above will give you instructions on how to disable it.
- Damage has occurred to your system (tree branch falls on control panel, vehicle hits the control panel, etc.)
- You think that an emergency situation exists.

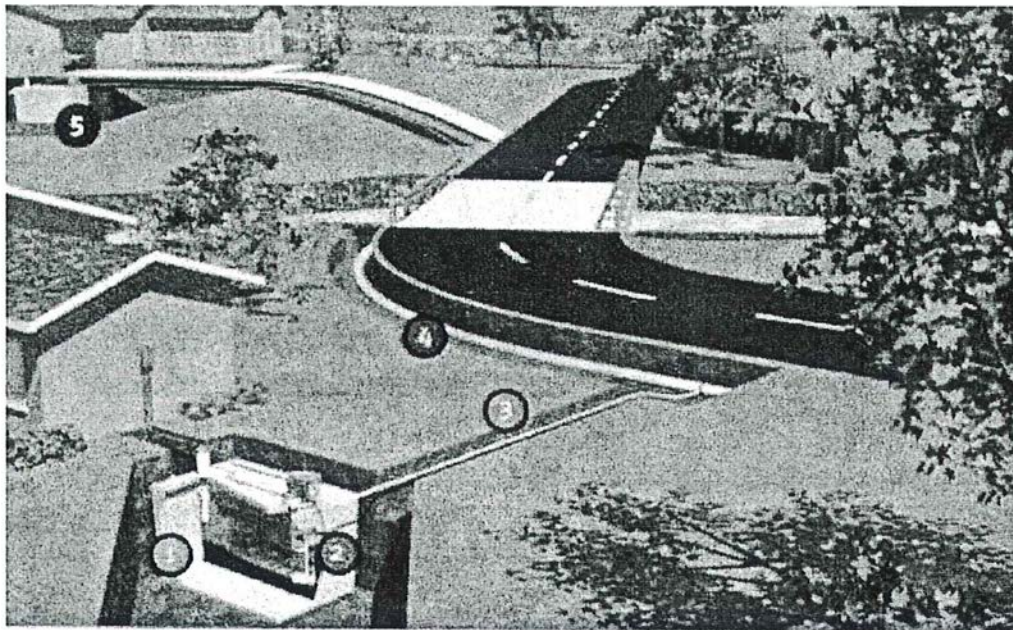
## Section H2 – Important Issues for Homeowners

Several developments within Credit River Township are installing community sewage treatment systems (CSTS). Homeowners need to be aware of the equipment that is installed on-site as well as its location and operation to prevent future conflicts.

### How Your System Works

All of the wastewater from your home flows through your interior plumbing and into two septic tanks. The septic tanks are designed to settle out solids and allow water to flow into a biotube pumping chamber. This chamber has a filter inside that prevents any solids from being transported to the pump. When enough grey water is in the pumping chamber, the pump will activate, sending the grey water off your property and to the sewer main. The sewer is located on the sides of the road and transports the grey water to a centralized wastewater treatment site. All the grey water is cleaned by a treatment system that is professional operated. Following treatment, the water is recycled back to the groundwater. Greater than 99% of the wastewater pollutants in the grey water are removed. This type of system provides equal if not better treatment than most wastewater treatment facilities across the State of Minnesota.

Below is a schematic of the system at your home (except your home may have two septic tanks, instead of one shown in the picture).



1. Watertight tanks provide primary treatment, so only liquids are conveyed to the treatment plant.
2. Our patented Biotube® Pump Vault filters out solids, and our lightweight, non-corroding pumps last more than 25 years.
3. One-inch diameter service lines can be easily installed with a trencher.
4. Small-diameter main lines follow the contour of the ground, saving excavation costs. No expensive manholes or lift stations are required.
5. Filtered effluent is conveyed by gravity from homes at higher elevations, so no pump is required.

### **Cautions for the Homeowner**

- Only qualified personnel shall open the control panel if service is needed.
- Do not dig on your property without knowing where all of your pipes, electrical lines and telephone lines are. Your builder should have provided an as-built drawing for your reference. However, if you propose any construction project that requires digging (i.e. footings, swimming pools, landscaping, hot tubs, etc.) you will need to locate your utilities at your expense prior to any construction activity.
- Do not plow snow towards the control panel and tanks.
- Do not travel over the pipes that lead to your septic tank or sewer main (toward the road).
- Open manholes are potentially hazardous, so it is essential that the lid be bolted securely at all times.
- The atmosphere in septic tanks can be dangerous, so maintenance should be performed only by trained personnel.
- Control/alarm panels should be secured.

### **General Information for Homeowners**

- The Township will be responsible for pumping your system as it is needed on your behalf. Tanks are checked by the operator once a year to determine if they need pumping. The Township has a maintenance easement on the property, which allows the service provider to adequately maintain the system and to perform service calls.
- Some of the services that will be provided at your home include: septic tank pumping once every three years, and a brief visual inspection of the panel components to identify obvious problems.
- Please be advised that the Township has been granted the right to enter onto your property to perform any necessary maintenance for the system. The only restriction on the Township's right of access is that the Township or its authorized agents cannot enter your dwelling(s) without your permission. If an entrance in your home is needed, the Township or its authorized agents will notify you to arrange for a time to perform the necessary work.
- A list of names of authorized agents is provided at the Credit River Town Hall. Questions regarding authorized agents may be directed to the Town Hall phone number (952-440-5515).
- The Township will provide septic tank pumping as part of the monthly service fee. Therefore, homeowners will not be responsible for pumping their septic tanks based upon normal usage. An allowance of the one pumping event per three years is budgeted. If additional pumping is needed, the cost of the pumping is the responsibility of homeowner.
- The monthly service rate includes: monitoring costs, operating costs, maintenance costs and capital replacement of the common portion of the septic system.
- The monthly service rate will be assessed to all property owners (homeowners, builders, lot owners, etc.).
- The control panels are designed with a telemetry system which will work as long as you maintain analog phone service and the system is functioning properly. This is a system that uses the phone line and calls out to the service provider for 24/7 emergency services in the event that a pump fails or other problems occur

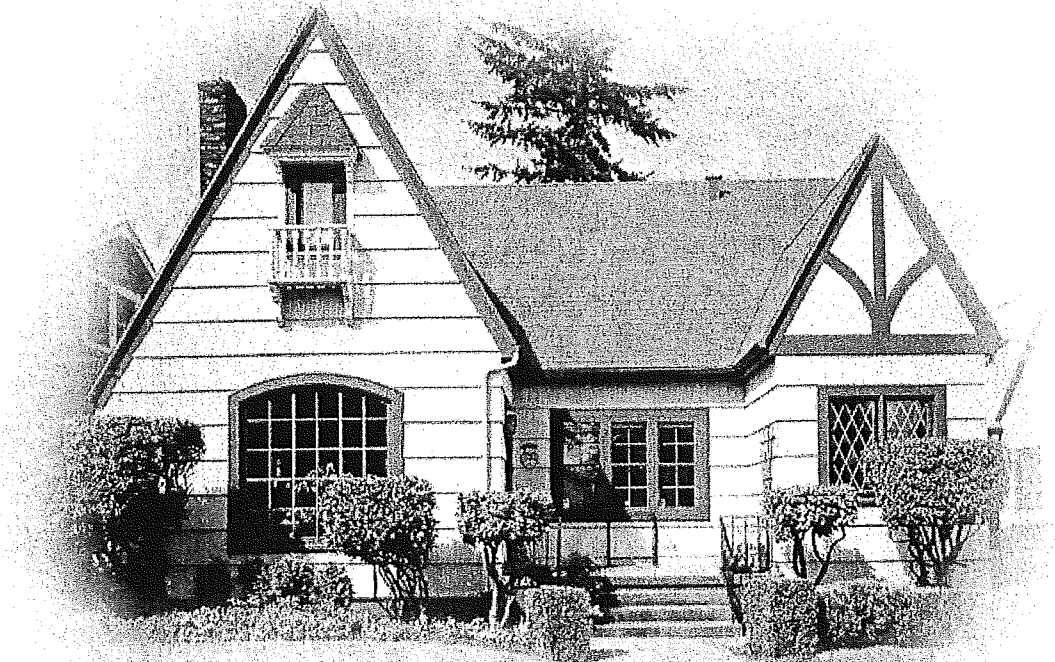
with the system. If a problem does occur, an operator will contact you between the hours of 9AM and 8PM to perform diagnostics on the system and determine if a service call is warranted. Operators will attempt to work with you and talk you through potential troubleshooting steps if the homeowner wishes. Alternatively they may request the Operator to perform a service call. The Township will allow a 4 hour window for the homeowner to contact the Operator. If no response is received, the Township will authorize the Operator to perform a service call, which will be a homeowner expense.

- If a phone line is not functional or if there is a panel component malfunction, the panel will not be able to call out. However, a secondary redundant audible alarm will activate. If this happens, the homeowner should call the Operator. The operator will notify the homeowner if there is an issue with the phone line/control panel once a year during private system checks.
- An ordinance has been established for all members of the community. The ordinance controls how the homeowners use the system and sets forth a process for budgets and rates. A copy of the ordinance is attached.
- The homeowners own all of the wastewater equipment on their lot (tanks, control panels, pipes, etc.).
- In the event that problems occur on the lot itself (i.e. panel malfunctions, filter breaks, electrical issues), the homeowner is financially responsible for the repair of those parts. The homeowner is also responsible for any service calls that are related to the system on their lot. Any repair to the common portion of the system (forcemain in the road right-of-way, centralized treatment system or mound system) is covered under the monthly service fee.

## **Section H3 – Homeowners Manual**

HOMEOWNER'S MANUAL

# Onsite Wastewater Collection & Treatment Systems



*Preventive Maintenance for  
Homes with Onsite Wastewater  
Collection and Treatment  
Systems*

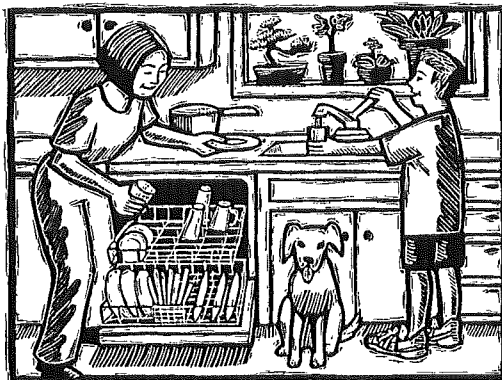


**Oreco Systems<sup>®</sup>**  
Incorporated

*Changing the Way the  
World Does Wastewater<sup>®</sup>*

**1-800-348-9843**  
**[www.oreco.com](http://www.oreco.com)**





## *Congratulations!*

Your home includes reliable, carefully engineered equipment – manufactured by Orenco Systems®, Inc. – for the collection and/or treatment of household wastewater.

When properly designed and installed, onsite wastewater treatment does a terrific job of decomposing household waste and recycling precious water resources. Our systems frequently outperform municipal sewage treatment plants. And the treated effluent is often returned harmlessly to the soil, where it receives final polishing and filtration for groundwater recharge. There's no degrading of our nation's rivers and oceans . . . which is so often the case with municipal sewage.

As with any engineered system, such as your car or your heat pump, your onsite wastewater system will work better and last longer if it is regularly maintained by a qualified service provider. Your service provider should be present during installation, so he or she is familiar with your system, especially those service

lines, conduits, and connections that get buried. And your service provider should have a copy of this manual. (Call 1-800-348-9843 and we'll send you another.)

Your system will also work better and last longer if you learn what can go into it – and what can not. Little effort is required. Just read and practice the “do's and don'ts” that follow. Every member of your household should be familiar with these. And if you have guests who want to “help out in the kitchen,” be sure to tell them, too. With this preventive maintenance, along with periodic inspections, your onsite wastewater system should function for decades. And you'll save water and energy, too!

There's a place on the back of this Homeowner's Manual to record “Important System Facts.” If those have not been filled in for you, please record those now, before you file this Manual away. And give a copy of these facts to your service provider, especially if your service provider changes. You'll be glad you did.

*Preventive Maintenance for Homes with Onsite Wastewater Collection and Treatment Systems*

**DO'S AND DON'TS FOR INSIDE THE HOUSE**



**DON'T** flush dangerous and damaging substances into your wastewater treatment system. (Please refer to the "Substitutes for Household Hazardous Waste," on page 4) Specifically, do not flush . . .

- Excessive amounts of bath or body oils
- Water softener backwash
- Flammable or toxic products
- Household cleaners, especially floor wax and rug cleaners
- Chlorine bleach, chlorides, and pool or spa products
- Pesticides, herbicides, or agricultural chemicals or fertilizers



**DON'T** use special additives that are touted to enhance the performance of your tank or system. Additives can cause major damage to your drainfield and other areas in the collection system. The natural microorganisms that grow in your system generate their own enzymes that are sufficient for breaking down and digesting nutrients in the wastewater.



**DO** use your trash can to dispose of substances that cause maintenance problems and/or increase the need for septage pumping. Dispose of the following with your trash:

- Egg shells, kitty litter, coffee grounds, tea bags, cigarette butts, chewing tobacco
- Paper towels, newspapers, sanitary napkins, diapers, gum, candy wrappers
- Cooking grease
- Rags, large amounts of hair



**DO** collect grease in a container and dispose with your trash. And avoid using garbage disposals excessively. Compost scraps or dispose with your trash, also. Food byproducts accelerate the need for septage pumping and increase maintenance.

*There are a number of do's and don'ts that will help ensure a long life and minimal maintenance for your system. As a general rule, nothing should be disposed into any wastewater system that hasn't first been ingested, other than toilet tissue, mild detergents, and wash water. Here are some additional guidelines.*

**DO'S AND DON'TS FOR INSIDE THE HOUSE**

**DON'T** leave interior faucets on to protect water lines during cold spells. A running faucet can easily increase your wastewater flow by 1,000 to 3,000 gallons per day and hydraulically overload your system. Instead, properly insulate or heat your faucets and plumbing.

**DON'T** use excessive amounts of water. (50 gallons per person per day is typical. If your household does not practice any of the "water conserving tips" below, you may be using too much water.)



**DO** conserve water:

- Take shorter showers or baths with a partially filled tub.
- Don't let water run unnecessarily while washing hands, food, teeth, dishes, etc.
- Wash dishes and clothes when you have a full load.
- When possible, avoid doing several loads in one day.
- Use water saving devices on faucets and showerheads.
- When replacing old toilets, buy low-flush models.

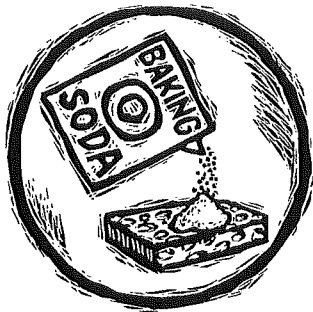


**DON'T** ignore leaky plumbing fixtures; repair them. A leaky toilet can waste up to 2,000 gallons of water in a single day. That's 10-20 times more water than a household's typical daily usage. Leaky plumbing fixtures increase your water bill, waste natural resources, and overload your system.



**DO** keep lint out of your wastewater treatment system by cleaning the lint filters on your washing machine and dryer before every load. Installing a supplemental lint filter on your washing machine would be a good precautionary measure. (This normally takes just a few minutes. Lint and other such materials can make an extreme difference in the frequency and cost of pumping out your primary treatment tank.)

**DO'S AND DON'TS FOR INSIDE THE HOUSE**



**DO** use substitutes for household hazardous waste. Replace the following hazardous products with products that are less environmentally harmful. The hazardous cleaners are listed below, followed by the suggested substitute.

**Ammonia-based cleaners:** Sprinkle baking soda on a damp sponge. For windows, use a solution of 2 tbs. white vinegar to 1 qt. water. Place the mixture into a spray bottle.

**Disinfectants:** Use borax: 1/2 cup in a gallon of water; deodorizes also.

**Drain decloggers:** Use a plunger or metal snake, or remove and clean trap.

**Scouring cleaners & powders:** Sprinkle baking soda on a damp sponge or add 4 tbs. baking soda to 1 qt. warm water. Or use Bon Ami; it's cheaper and won't scratch.

**Carpet/upholstery cleaners:** Sprinkle dry cornstarch or baking soda on, then vacuum. For tougher stains, blot with white vinegar in soapy water.

**Toilet cleaners:** Sprinkle on baking soda or Bon Ami, then scrub with a toilet brush.

**Furniture/floor polishes:** To clean, use oil soap and warm water. Dry with soft cloth. Polish with 1 part lemon juice and 2 parts oil (any kind), or use natural products with lemon oil or beeswax in mineral oil.

**Metal cleaners:** Brass and copper: scrub with a used half of lemon dipped in salt. Stainless steel: use scouring pad and soapy water. Silver: rub gently with toothpaste and soft wet cloth.

**Oven cleaners:** Quickly sprinkle salt on drips, then scrub. Use baking soda and scouring pads on older spills.



**Laundry Detergents:** Choose one with a zero phosphate content or use soap flakes with 1/3 cup of washing soda. (Before switching, wash clothes in pure washing soda to remove residues.)

**DO'S AND DON'TS FOR OUTSIDE THE HOUSE**

**DON'T** dig without knowing the location of your wastewater treatment system. As much as possible, plan landscaping and permanent outdoor structures before installation. But easily removable items, such as bird baths and picnic tables, are OK to place on top of your system.



**DON'T** dump RV waste into your wastewater treatment system and tanks. It will increase the frequency of required septage pumping. When dumped directly into the pumping vault, RV waste clogs or fouls equipment, causing undue maintenance and repair costs. (Some RV waste may contain chemicals that are toxic or that may retard the biological digestion occurring within the tank.)



**DON'T** drive over your tank or any buried components in your system, unless it's been equipped with a special traffic lid. If the system is subject to possible traffic, put up a barricade or a row of shrubs.

**DON'T** ever connect rain gutters or storm drains to the sewer or allow surface water to drain into it. The additional water will increase costs, reduce the capacity of the collection and treatment systems, and flood the drainfield.

**DO** keep the tank access lid secure to the riser at all times. If bolts are lost or damaged, call Orenco Systems immediately for replacement: 1-800-348-9843.



**DON'T** enter your tank. Any work to the tank should be done from the outside. Gases that can be generated in the tank and/or oxygen depletion can be fatal.

**OUTSIDE THE HOUSE**

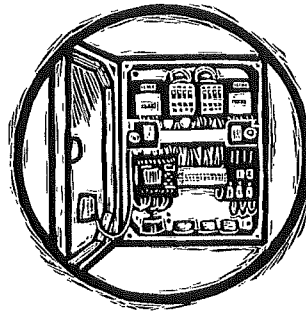


**DO** make arrangements with a reliable service person to provide regular monitoring and maintenance. Place the service person's phone number on or in your control panel!

**DO** keep a file copy of your service provider's sludge and scum monitoring report and pumpout schedule. This information will be beneficial for real estate transactions or regulatory visits.

**DO** keep an "as built" system diagram in a safe place for reference.

**AT THE CONTROL PANEL**



**DO** locate your electrical control panel where it will be protected from potential vandalism and have unobstructed access.

**DO** familiarize yourself with the location of your wastewater treatment system and electrical control panel. Refer to the panel's model number (on the back of this booklet) when reporting a malfunction in the system.

**DO** take immediate action to correct the problem in the event of an alarm condition. Call your system operator or maintenance company immediately whenever an alarm comes on; it sounds like a smoke alarm.



**DO** remember that the audible alarm can be silenced by pushing the lighted button located directly above the "Push to Silence" label on the front of the electrical control panel. With normal use, the tank has a reserve storage capacity good for 24-48 hours.

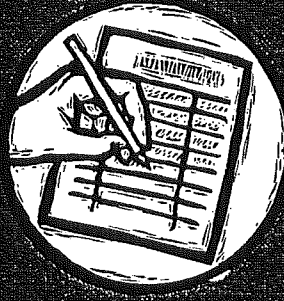
**DON'T** turn off the main circuit breaker to the wastewater pumps when going on vacation. If there is any infiltration or inflow into the system, the pumps will need to handle it.

**Important!  
Caution!**

*Only a qualified electrician or authorized installer/operator should work on your control panel. Before anyone does any work on either the wiring to the level control floats and pumps in the vault or on the control panel itself, it is imperative to first switch the isolation fuse/breaker and the circuit breakers in the panel to the "Off" positions, then switch "Off" the power to the system at the main breaker!*



AdvanTex®  
Treatment System  
AXN Models meet  
the requirements  
of ANSI-NSF  
Standard 40 for  
Class I Systems.



**DO** keep accurate records of maintenance and service calls. Make sure whoever services your tank keeps a complete record, and ask for a copy for your records.

## IMPORTANT SYSTEM FACTS

### Distributor or Dealer:

Please fill out the following important information before giving out this Homeowner's Manual:

\_\_\_\_\_  
Dealer Name

\_\_\_\_\_  
Regulatory Agency

\_\_\_\_\_  
Dealer Address

\_\_\_\_\_  
Regulatory Contact Name

\_\_\_\_\_  
Dealer Phone Number(s)

\_\_\_\_\_  
Regulatory Contact Phone Number(s)

\_\_\_\_\_  
Authorized Service Provider Name

\_\_\_\_\_  
Permit # (if applicable)

\_\_\_\_\_  
Authorized Service Provider Phone Number(s)

\_\_\_\_\_  
Property Address

\_\_\_\_\_  
Authorized Installer Name

\_\_\_\_\_  
Property Owner Name(s)

\_\_\_\_\_  
Authorized Installer Phone Number(s)

\_\_\_\_\_  
Start-Up Date

\_\_\_\_\_  
Engineer Name (if applicable)

\_\_\_\_\_  
AdvanTex® Model #

\_\_\_\_\_  
Engineer Phone Number(s)

\_\_\_\_\_  
AdvanTex® Serial # (on filter pod)

\_\_\_\_\_  
Control Panel Model #



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# Ordinance



**CREDIT RIVER TOWNSHIP  
SCOTT COUNTY  
STATE OF MINNESOTA**

**ORDINANCE NO. 2011 - 01**

**ORDINANCE GOVERNING THE “TERRITORY” ENVIRONMENTAL  
SUBORDINATE SERVICE DISTRICT  
WASTE WATER COLLECTION SYSTEM(S)**

The Town Board for the Town of Credit River, Scott County, Minnesota, hereby ordains:

Ordinance No. 2006-01B and any other ordinance that contradicts the below are hereby revoked and replaced by the following:

**SECTION ONE**

**AUTHORITY**

The Credit River Township Board of Supervisors, pursuant to authority granted under Minnesota Statutes, Chapter 365A, Chapter 115.50, and Chapter 444 enacts the following Rules and Regulations to govern the Territory Environmental Subordinate Service District for the health, safety and welfare of the users and members of Credit River Township.

**SECTION TWO**

**INTRODUCTION**

The Territory Environmental Subordinate Service District was created on May 15<sup>th</sup>, 2003 hereinafter called DISTRICT, under Minnesota Statutes, Chapters 365A, 115.50, and 444.

The Territory Environmental Subordinate Service District (DISTRICT) will operate for the residents in that area described herein below and graphically depicted on the attached Exhibit A:

**LEGAL DESCRIPTION**

**Parcel 1:**

The Northeast Quarter of Section 32, Township 114 North, Range 21 West, Scott County, Minnesota.

**Parcel 2:**

A tract of land in the Northeast Quarter of the Southeast Quarter of Section 32, Township 114 North, Range 21 West, Scott County, Minnesota described as follows: Commencing at a point 8 rods south of a point 24 rods and 5.5 feet west of the Quarter post on the east side of

Section 32, Township 114, Range 21; thence South 54 degrees 45 minutes West 15 rods to a post set in the ground; thence North 38 degrees 40 minutes West 22 rods to the Quarter line running east and west through said Section 32; thence East along said Quarter line to the bank of the lake; thence Southeast along the bank of the lake to the point of beginning.

Parcel 3:

The West Half of the Northwest Quarter of Section 33, Township 114 North, Range 21 West, Scott County, Minnesota, excepting the south 4 rods thereof.

Parcel 4:

The Southeast Quarter of the South west Quarter and the West Half of the Southeast Quarter, Section 29, Township 114 North, Range 21 West, Scott County, Minnesota.

Parcel 6:

The West Half of the Southeast Quarter and the West Half of the East Half of the Southeast Quarter, Section 29, Township 114 North, Range 21 West, Scott County Minnesota.

Parcel 7:

A tract of land in the East One-Half of the Southeast Quarter of Section 32, Township 114 North, Range 21 West, Scott county, Minnesota Described as follows: commencing at a point 1471.8 feet north of the southwest corner of said East One-Half of the Southeast Quarter and lying on the west line thereof, said point also being the center line of Old County Road No. 8; thence North 70 degrees 50 minutes East and along said center line a distance of 1252.0 feet; thence South 18 degrees 35 minutes East a distance of 247.7 feet to the center line of New County Road No. 8; thence Southwesterly along said center line a distance of 1293.6 feet to its intersection with said west line; thence North to the point of beginning a distance of 99.2 feet.

Parcel 8:

That part of East One-Half of the Southeast Quarter of Section 32, Township 114 North, Range 21 West, Scott County, Minnesota described as follows: Beginning at the northwest corner of said East One-Half of the Southeast Quarter; thence East along the east and west center line of said Section 32, 895.7 feet; thence South 18 degrees 35 minutes 813.8 feet to the center line of County Road No. 28; thence South 70 degrees 50 minutes West along said County Road 1252 feet; thence North 1 degree 20 minutes East along the west side of said East One-Half of the South east Quarter 1182 feet to the place of beginning, except the following: Beginning at a point on the east-west center line of said Section 32, 895.7 feet east of the northwest corner of said East One-Half of the Southeast Quarter; thence South 18 degrees 35 minutes East 139.8 feet; thence West and parallel to the east-west center line of said Section 32, 21.6 feet to a point that is 8 rods south of a point that 24 rods 5.5 feet west of the One-Quarter corner on the east side of said Section 32; thence South 54 degrees 45 minutes West 15 rods; thence North 38 degrees 40 minutes West 351.9 feet to the east-west center line of said Section 32; thence East along the east-west center line of said Section 32, 398.7 feet to the place of beginning.

Parcel 19:

That part of the East Half of the Southeast Quarter of the Southeast Quarter of Section 29, Township 114 North, Range 21 West, Scott County, Minnesota described as follows: Beginning at the southwest corner of said East Half of the Southeast Quarter of the Southeast Quarter; thence North along the west line of said East Half of the Southeast Quarter of the Southeast Quarter a distance of 1102 feet; thence easterly a distance of 250 feet to the point that is 1104 feet north of the south line of said Section 29; thence southerly a distance of 197 feet to a point that is 268 feet east of the west line of said East Half of the Southeast Quarter of the Southeast Quarter and 607 feet north of the south line of said Section 29; thence southerly a

distance of 465 feet to a point that is 226 feet east of the west line of said East Half of the Southeast Quarter of the Southeast Quarter and 144 feet north of the south line of said Section 29; thence southeasterly a distance of 174 feet to a point on the south line of said Section 29 and 323 feet east of the point of beginning; thence West along the south line of said Section 29 a distance of 323 feet to the place of beginning:

Parcel 10:

The Southwest Quarter of the Southwest Quarter of Section 32, Township 114, Range 21, Scott County, Minnesota. This area consists of 535 acres more or less

The DISTRICT is under the control and management of the Credit River Township Board of Supervisors (BOARD).

### **SECTION THREE**

#### **DEFINITIONS**

The following words and phrases when used in the definitions in this Section and when otherwise used in this document shall have the meanings ascribed to them in this Section, unless the context otherwise clearly indicates. The following words shall have these meanings; “may” or “should” mean permissive and “shall” or “will” are required.

- 3.1. ADDITIVES – Product(s) added to the wastewater or to the SYSTEM(S) with the intent to improve the performance of an individual’s sewage treatment system(s).
- 3.2. APPLICANT – Any person, entity, or corporation applying for a permit to connect to the SYSTEM.
- 3.3. BOARD - The Credit River Township Board of Supervisors.
- 3.4. COMMON PORTION -The common wastewater collection system(s); that portion which begins at the shut-off valve at each property for the connection of each USER thereafter includes all equipment, pumps, sewer lines and appurtenances, treatment and disposal SYSTEM(S) portions of the DISTRICT CSTS SYSTEM(S) which are located in a public easement, or which is located on land owned by Credit River Township. This excludes all SYSTEM(S) components between the dwelling and shut-off valve.
- 3.5. CONNECTION CHARGE(S) – Reasonable charges for those properties that connect to the DISTRICT CSTS SYSTEM(S). Example of said charges would be the administration and permit fees as well as construction oversight and inspections for connection to the DISTRICT CSTS SYSTEM(S).
- 3.6. CONTRACTOR(S) - Independent person(s), entity (entities), party (parties) contracted, by the BOARD, to administer, manage, operate, inspect, pump, repair, and enforce or maintain the DISTRICT CSTS SYSTEM(S).

- 3.7. CSTS – Means Community Sewage Treatment System(s).
- 3.8. DESIGNATED REGISTERED PROFESSIONAL – Means an individual who is included on the Minnesota Pollution Control Agency’s ISTS professional register with specialty area endorsements that correspond to the license, which has been designated by the individual’s employer as its representative for work to be done on an individual sewage treatment SYSTEM(S), and who is subject to the obligations of a license.
- 3.9. DISTRICT -The Territory Environmental Subordinate Service District created under M.S. § 365A, 115.50 & 444.
- 3.10. “DISTRICT” CSTS – The “COMMON PORTION” of the DISTRICT CSTS SYSTEM(S) (Community Wastewater Treatment SYSTEM(S)) which includes all equipment, pumps, sewer lines, treatment and disposal SYSTEM(S) portions, and any and all appurtenances of the SEWER SYSTEM(S) which are located in a public easement or which are located on land owned by Credit River Township, as well as the “PRIVATE SYSTEM(S)” portion of the DISTRICT CSTS SYSTEM(S) to the extent that it is managed and maintained by the DISTRICT.
- 3.11. DWELLING – Means any building or place used or intended to be used by human occupants as a single-family residence and consists of one or more rooms which are arranged, designed or used for human habitation. The term “residence” shall have the same meaning as defined herein.
- 3.12. EFFLUENT BIO-FILTER – Filtering system, which is placed before a pump, or in a line, and filters particles from the effluent either within or through a wastewater line, pump station, and/or septic tank. Another term for this is “effluent screen” which means a device that filters solid materials from sewage tanks before discharge to a treatment system(s).
- 3.13. HOLDING TANK – Means a tank for storage of sewage until it can be transported to a point of treatment and disposal.
- 3.14. INSPECTOR – Party contractually employed by the BOARD to do Inspections
- 3.15. ISTS – Individual Sewage Treatment System(s). Means an individual sewage treatment SYSTEM(S), or part thereof, serving a dwelling, and using sewage tanks followed by both soil treatment and disposal or using advanced treatment devices that discharge below final grade.
- 3.16. MPCA 7080 STANDARDS - The minimum standards promulgated by the following Agencies: Minnesota Pollution Control Agency and contained in Minnesota Rules, Chapter 7080, the Scott County Sewage and Wastewater Treatment Ordinance, Scott County Shoreland Management Ordinance, and this ORDINANCE, as amended from time to time.

- 3.17. PRIVATE PORTION OF SYSTEM(S) - That portion of the wastewater collection SYSTEM(S) that resides within the individual parcel and lot boundaries of the USERS in the DISTRICT CSTS SYSTEM(S) which begins with the septic and pump tanks and which ends at a point called the shut-off valve leaving their property.

This PRIVATE PORTION connects to that part called the “COMMON PORTION” portion of the DISTRICT CSTS SYSTEM(S) and contributes effluent to the DISTRICT CSTS SYSTEM(S).

- 3.18. SEPTAGE – Means solids and liquids removed during periodic maintenance of the USER’S individual wastewater system(s), or solids and liquids that are removed from toilet waste treatment devices and/or septic tanks.
- 3.19. SEPTIC TANK – Means any watertight, single or double compartmented and covered receptacle (sometimes inclusive of a pump tank) designed and constructed to receive the discharge of raw sewage from a building sewer, separate solids from liquid, digest organic matter, store liquids through a period of detention, and allow the effluent to discharge to a treatment SYSTEM(S).
- 3.20. SEWER - Means a system(s) that carries wastewater.
- 3.21. ORDINANCE - Means the rules and regulations imposed and enforced by Credit River Township (BOARD).
- 3.22. USER - Means a resident, inhabitant, owner of land or dwelling that is causing or permitting the discharge of wastewater to the DISTRICT CSTS SYSTEM(S).

## **SECTION FOUR**

### **GENERAL PROVISIONS AND CONDITIONS**

- 4.1. The DISTRICT is created as an organizational, financing and management tool to operate and administrate the Community Sewage Treatment Collection SYSTEM(S) on behalf and for the landowners (USERS) encompassed by this DISTRICT pursuant to Minnesota Statutes Chapter 365A, Chapter 115.50, and Minnesota Statute Chapter 444, authorizing the powers herein.
- 4.2. The BOARD is responsible for the management of the DISTRICT, construction oversight, operations and maintenance, repairs, system(s) upgrades, renovations, inspections, and administration of the wastewater collection system(s) (DISTRICT CSTS SYSTEM(S)) within the DISTRICT pursuant to the rules and standards imposed by the Minnesota Pollution Control Agency, Minnesota Rules Chapter 7080, the Scott County Sewage and Wastewater Treatment Ordinance, the Scott County Shoreland Management Ordinance, and this ORDINANCE, as amended from time to time.

- 4.3. The DISTRICT CSTS SYSTEM(S), as defined in Section 3, are any and all appurtenances, inclusive of treatment, disposal and secondary sites and all easements necessary, presently existing or hereinafter acquired, as are found necessary for completion of such SEWER SYSTEM(S) in operating condition adequate to collect and transmit all wastewater effluent into the SYSTEM(S), and for the proper treatment and disposal of such wastewater.
- 4.4. PERMANENT ACCESS MAINTENANCE EASEMENT. The BOARD, its agents or CONTRACTOR(S) have the right, through a permanent access maintenance easement consistent with the terms and conditions of Section 5 of the Declaration of Covenants for Territory (Doc. No. T160617 filed on September 13, 2004), to enter in and upon private property at all times reasonable under the circumstances for the purpose of monitoring, inspecting, pumping, repairs, and replacement required on the DISTRICT CSTS SYSTEM(S), or any part thereof. This right of entry is in relationship to performing these tasks in the PRIVATE SYSTEM(S) PORTION area when reasonable and necessary to ensure the proper functioning and maintenance care of the SEWER SYSTEM(S). Such examples of maintenance would include the annual cleaning, repairs and/or emergency replacement of the tank filter and pump, control panel inspections and monitoring, checking the septic tank for sludge and scum, and needed septic tank septage maintenance and removal.
- 4.5. USERS will be billed individually for any repairs and/or replacement of portions of their PRIVATE SYSTEM(S) when found to be failing through maintenance operations. Such parts shall include, but are not limited to the following: the sewer line, pump tank, pump, bio-filter, control panel which includes the event counter, run time meter and electronic components, and all necessary parts required to maintain said SYSTEM(S) in operating compliance.
- 4.6. Ownership, of all COMMON SYSTEM PORTION pumps, lines, mains, extensions and appurtenances, treatment and disposal sites thereto of the DISTRICT CSTS SYSTEM(S) shall remain with the BOARD. Those parts referred to as the PRIVATE SYSTEM(S) PORTION of the DISTRICT CSTS SYSTEM(S) are located on private property, belong to, and are under the ownership of the individual USER, but will be under the operations and management of the BOARD.
- 4.7. It is hereby declared that no USER or other parties, other than authorized personnel are allowed to use or to drive on property used by the BOARD for treatment and disposal of wastewater from the DISTRICT CSTS SYSTEM(S) unless it is for the stated repair and/or maintenance of the wastewater treatment SYSTEM(S) or for the purposes of required inspections by County and public officials or viewing as authorized by the BOARD.
- 4.8. The BOARD and/or their duly authorized representatives, along with the invitation of the Scott County Environmental Health Department, the Service Management Contractor(s), and any USERS, will annually inspect the physical portion of the DISTRICT CSTS SYSTEM(S), review maintenance and operation logs, and receive a yearly status report;

the report will become public record for all to examine.

- 4.9. No person shall engage in an act intentionally or carelessly which results in breaking, damaging, destroying, uncovering, defacing, or tampering with any structure, appurtenances or equipment that is part of the DISTRICT CSTS SYSTEM(S). Closure of the shut-off valve at a USERS site may be initiated to protect the integrity and safety as well as public health of the USERS in the DISTRICT CSTS SYSTEM(S).
- 4.10. Wastewater Treatment System for the lodge. The wastewater treatment system for the lodge is included within the permit issued by both the MPCA and Scott County for the Territory CSTS. As such, the wastewater treatment system for the lodge shall be served by the Territory CSTS managed by the Township as part of the Territory Subordinate Service District. The lodge shall be treated as seven units for the purposes of rates. The lodge shall be used solely by the residents of Territory for private use, small private parties and shall not be rented to the public or used for catering of events. Further, as the Territory CSTS is designed for domestic strength wastewater use, the lodge shall have no cooking facilities or restaurant capabilities that might allow for grease to flow into the lodge's wastewater system. Furthermore, the lodge's wastewater system shall not be connected in any way to the lodge's swimming pool.
- 4.11. All present and future USERS within the DISTRICT CSTS SYSTEM(S) will be subject to the applicable rules and regulations inclusive of the DISTRICT'S ORDINANCE, as amended, the MPCA Chapter 7080 rules, as amended, and Scott County's regulations for individual sewage treatment systems, as amended from time to time.

## **SECTION FIVE**

### **RATES, CHARGES AND CONNECTION TO THE DISTRICT CSTS SYSTEM(S)**

- 5.1. The BOARD may set such rates, fees and charges, as it deems appropriate. No such resolution setting such fees shall be adopted before a public hearing has been held thereon.
  - 5.1.1. Notice of adoption of said rates, fees and charges by resolution, after a public hearing, shall be kept on file and open to inspection in the office of the Credit River Township Clerk and shall be uniformly enforced.
- 5.2. All funds collected from such rates, fees and charges will remain with the DISTRICT'S funds, as dedicated fund accounts, and will be used to reduce costs allocated to the usage, repair, renovation, system(s) upgrades, and replacement of the DISTRICT CSTS SYSTEM(S).
- 5.3. The BOARD may, under Minnesota Statutes 366.012 and 429.101, certify each year to the Scott County Auditor, any unpaid service charges, costs, and fees, which shall then be

collected together with property taxes levied against the property. The BOARD must serve written notice to the USER(S) of its intention to certify the charge to the Scott County Auditor. Any unpaid charges will be subject to the same penalties, interest, and other conditions provided for in the collection of regular property taxes.

- 5.4. **INDIVIDUAL SEWAGE TREATMENT SYSTEM(S) IS REQUIRED TO CONNECT TO THE DISTRICT CSTS SYSTEM(S).** All landowners within the DISTRICT will be required to connect to the DISTRICT CSTS SYSTEM(S) upon completion of the COMMON PORTION.

Those landowners that are exempted due to an empty parcel will be required to connect into the DISTRICT CSTS SYSTEM(S) when said exemption is no longer valid.

- 5.5. **STANDARDS ADOPTED.** All components of the SYSTEM shall be designed and installed in accordance with the Township standards as outlined in the Territory's Builders Guide, MN Rules Chapter 7080, Scott County Subsurface Treatment System Ordinance No. 4, and the MPCA permit. In addition, the following shall apply:

- 5.5.1. The system may not be constructed within an easement without written permission from the individual(s) or entity(ies) possessing the rights to the easement.
- 5.5.2. A minimum setback of five (5) feet shall be maintained from SEWER pipes to property lines.
- 5.5.3. A minimum setback of ten (10) feet shall be maintained from SEPTIC TANKS to all wetlands, storm water ponds, infiltration basins, and creeks. In no case shall the SEPTIC TANK be allowed to be placed within the 100-Year flood elevation of said water bodies.

- 5.6. **PROCEDURES FOR INDIVIDUAL SEWAGE TREATMENT SYSTEM(S) INSIDE THE DISTRICT THAT CONNECT.** The property owner will comply with the following steps:

- 5.6.1. **STEP ONE. Written Application.** When a USER wishes to build a home, expand, add a bedroom or additional water appliances to present home such as but not limited to the following: iron filter, heat pumps, whirlpool tubs, etc, said USER or APPLICANT will cause an Application for Community Sewage Treatment System (CSTS) Permit to be completed and submitted to Credit River Township for review. APPLICANT shall include in said permit application the total number of bedrooms and a scaled drawing indicating the existing or proposed locations of the SEPTIC TANK, SEWER pipes, and other features.
- 5.6.2. **STEP TWO. Design Flow Considerations prior to approval of Permit.** Before approval, the Township Engineer will review the permit



with consideration of design flow and hook-up to the collection SYSTEM(S). If SYSTEM(S) design is sufficient and there is adequate capacity within the DISTRICT CSTS SYSTEM(S), approval to proceed will be given.

5.6.3. **STEP THREE. Issuance of Permit** Upon approval by Credit River Township, a permit allowing the APPLICANT to connect to the SYSTEM will be issued. Said permit shall be valid for one (1) year from the date of issuance.

5.6.4. **STEP FIVE. USER Connection to DISTRICT CSTS SYSTEM(S).** Once approved by the BOARD, the Township Engineer, and the Scott County Environmental Health Department, the proposed APPLICANT will connect to the SYSTEM(S) under the following conditions:

- On-going supervision, by a Township authorized INSPECTOR, will be done to insure that the hook-up to the DISTRICT'S SEWER SYSTEM(S) is secure, and will not jeopardize any portion of the present SYSTEM(S). It shall be the responsibility of the APPLICANT to arrange for the inspections of the SEPTIC TANK as outlined by the Township's inspection process. A Certificate of Compliance shall be issued by the INSPECTOR upon completion of the hook-up and prior to a Certificate of Occupancy. If upon inspection, the INSPECTOR discovers that any part of the SYSTEM is not constructed in accordance with the minimum standards provided in this Ordinance, the INSPECTOR shall notify the APPLICANT in writing describing the defects. The APPLICANT shall be responsible for the correction or elimination of all defects and any additional inspection costs. No SSTS shall be placed in service until all defects have been corrected or eliminated. A copy of the as-built drawings as well as any and all necessary pictures to identify the treatment components and location will be submitted by the APPLICANT to all the necessary parties (County, BOARD and/or INSPECTOR) showing the final location and construction details for the hook-up to the DISTRICT CSTS SYSTEM(S). It shall be the responsibility of the APPLICANT to provide the INSPECTOR with free access to the property at reasonable times for the purpose of making the inspections.

## 5.7. CONNECTION COSTS.

5.7.1. All costs of connection shall be borne by the USER(S) connecting to the DISTRICT CSTS SYSTEM(S). New USER(S) will be required to pay for all construction costs encountered for and on their PRIVATE SYSTEM(S) PORTION, [i.e. septic tank, control panel, building sewer lines, lift pump, lift stations, easement condemnations, etc., when and where necessary] as

well as any additional costs that might be required in order to connect into the DISTRICT'S CSTS SYSTEM(S).

- 5.7.2. The USER will enter into a contract with the BOARD to reimburse the BOARD for all costs incurred in connecting said USER to the DISTRICT CSTS SYSTEM(S) including, but not limited to, legal, planning, engineering, and inspection expenses incurred in connection to the DISTRICT CSTS SYSTEM(S). Said costs will be reimbursed to the BOARD within thirty days (30 days) of billing, unless alternate arrangements are made in writing and approved by the BOARD.

## **SECTION SIX**

### **DAMAGE TO DISTRICT SYSTEM(S) PROHIBITED**

- 6.1 It shall be unlawful for any USER to discharge upon, in or under the ground or to any natural outlet within the service DISTRICT areas any wastewater other than to the DISTRICT CSTS SYSTEM(S).
- 6.2 It shall be unlawful for any USER to discharge or cause to be discharged any unpolluted waters such as storm-water, groundwater, roof runoff, subsurface drainage, drain tile lines, swimming pools, into the DISTRICT'S SEWER SYSTEM(S) by means of a sump pump, or otherwise.
- 6.3 All USERS must comply with the provisions of 7080.0065, subp. 3., Chapter 7080, Minnesota Pollution Control Agency's rules, which are incorporated herein and stated as such; "Products containing hazardous waste and hazardous substances must not be discharged to a SYSTEM(S) other than in normal amounts of household products and cleaners designed for household use. Substances not intended for use in household cleaning, including solvents, pesticides, flammables, photo finishing chemicals, dry cleaning chemicals, and hair salon chemicals must not be discharged to the SYSTEM(S)".
- 6.4 It shall be unlawful for any USER to discharge liquids or solids into the wastewater of the DISTRICT CSTS SYSTEM(S) that has concentrations or quantities that will harm the collection and treatment portions of the DISTRICT CSTS SYSTEM(S), endanger lives, or constitute a public health risk or nuisance, or to create any hazard in the receiving waters of the SYSTEM(S). Examples of such materials that are harmful include, but are not limited to the following:
  - 6.4.1 Backwash from Iron Filter systems or other water treatment systems, excluding water softeners. Except as to those homes that have been issued a building permit prior to the adoption of this Ordinance, all backwash water or other flushed water shall be prohibited from being discharged to the individual septic tanks and CSTS system. Excessive iron can precipitate in the treatment or disposal system causing accelerated breakdown and associated operational and maintenance costs. Iron

filter systems and other water treatment systems will need to have their backwash discharged to a secondary (onsite) location or be a non backwashing unit (such units manufactured by Culligan, U.S. Filter, or an approved equal).”

- 6.4.2 Any gasoline, antifreeze, fuel oil, latex paint, oil and/or chemical solvents, other hazardous oils, or other flammable or explosive liquids, solids or gas. Any waters containing toxic or poisonous solids or liquids, which alone or by interaction with other wastes could release noxious gases, form suspended solids, which interfere with the DISTRICT’S CSTS SYSTEM(S), or create a condition deleterious to structures, appurtenances, and treatment processes.
- 6.4.3 Solid or viscous substances in quantities or of such size capable of causing obstruction to the flow or proper operation of the wastewater collection SYSTEM(S) such as, but are not limited to, ashes, asphalt, bones, cinders, sand, mud, straw, shavings, metal, glass, rags, feathers, and other similar items, tar, plastics, disposable diapers, wood, ground or un-ground garbage, whole blood, paper dishes, napkins, cups, milk containers, sanitary napkins and tampons and other similar items as well as the containers for such items.
- 6.5 The DISTRICT CSTS SYSTEM(S) has been designed to exceed typical household wastewater flows observed in the region. Nevertheless, should water consumption exceed flow design for the DISTRICT CSTS SYSTEM(S), BOARD will initiate any and all water conservation practices including but not limited to the following: prohibiting further water appliances, reduction of water usage, installation of water meters and monitoring of flows with rate changes to reduce water usage until such time as a new design can be completed to address added flows.
- 6.6 Volumes (flows) of wastewater discharged into the SYSTEM(S) will be considered to be in violation for an individual home when these monitored flows are exceeded:
  - a. Any weekly flow which exceeds 4,200 gallons which is a 600 gallon per day average
  - b. Any monthly flow which exceeds 13,500 gallons which is a 450 gallon per day average
  - c. Any quarterly flow which exceeds 30,000 gallons which is a 335 gallon per day average

The homeowner will be contacted by the BOARD when any such volumes are exceeded. The homeowner will be responsible for immediate action to reduce their flows when contacted. If the homeowner fails to promptly address the excess flows, then the BOARD may take any actions deemed necessary to protect the integrity and safety of the DISTRICT SEWER SYSTEM(S).

- 6.7 Within the DISTRICT, USERS will be required to shut off their main water supply when their home is not occupied for a period exceeding four (4) consecutive days. Upon written request from a USER, the Credit River Township Clerk may grant an exception

for a necessity [i.e. when a water supply cannot be shut off].

- 6.8 USERS will be required to install, repair and maintain water conserving plumbing fixtures and appliances to reduce daily water use. Therefore, the following appliances and fixtures shall be installed to promote and sustain water conservation practices to protect the integrity and long-term effectiveness of the DISTRICT'S CSTS: clothes washing machines using 25 gallons or less per load; toilets with 1.6 gallons or less water usage per flush; automatic dishwashers that use less than 5.5 gallons of water per load; shower heads with flow rates less than 2.5 gallons per minute; and faucets with flow rates of 2.2 gallons or less per minute. Please note that each of these fixture flow limits is also required per the state building code.
- 6.9 All required installation of said USER plumbing appliances and fixtures must be inspected and verified by a licensed professional plumber. Should the licensed professional plumber determine by his inspection that a home does not have the requisite low flow appliances and fixtures, Scott County shall not issue a Certificate of Occupancy until such time as the home does comply.
- 6.10 A garbage disposal will be allowed in a new home with the proper design considerations approved by the required permitting authorities that will insure and protect the integrity of the DISTRICT CSTS SYSTEM(S).
- 6.11 All USERS must further comply with the provisions of Minnesota Rules, Chapter 7080.0175, subp.5, which are referenced and incorporated herein. Individual wastewater treatment SYSTEM(S) additives that contain hazardous substances must not be used in their septic tanks.

## **SECTION SEVEN**

### **VIOLATION(S) ARE A MISDEMEANOR**

- 7.1. Any person who willfully or negligently violates any provisions of the Minnesota Pollution Control Agency, Chapter 7080 Rules, the Scott County Sewage and Wastewater Treatment Ordinance, and/or the provisions of the ORDINANCE contained herein will be subject to notification of violation(s).
- 7.2. ENFORCEMENT. This ORDINANCE shall be administered and enforced by the BOARD, or its authorized representative(s). The duly authorized representative(s) may institute appropriate action for any violation(s) of this ORDINANCE at the direction of the BOARD and through the Township Attorney as deemed necessary. Any USER or person who violates a Section, Subdivision, paragraph, or provision of this ORDINANCE when he or she performs an act or becomes a public nuisance which is hereby prohibited, or declared unlawful or fails to do an act required, or fails to act when such failure is thereby prohibited or declared unlawful, and upon conviction thereof, shall be subject to a misdemeanor fine not to exceed \$1000 and/or imprisonment not to exceed 90 days plus the costs of prosecution. Each day of non-compliance with any of the terms of this

ORDINANCE shall be considered a separate violation and a separate criminal act.

7.3. ENFORCEMENT OF ORDINANCE PROCEDURES.

7.3.1. EMERGENCY AND/OR HAZARDOUS WASTE VIOLATIONS. In the case where a USER knowingly violates the DISTRICT CSTS SYSTEM(S) by discharging waste deleterious or harmful to said DISTRICT CSTS SYSTEM(S) and causes emergency conditions to exist, the BOARD and its duly authorized representatives shall exercise their authorities to close the shut-off valve at the end of the COMMON PORTION and deny further use to offending USER of the DISTRICT CSTS SYSTEM(S) until said violation(s) has been resolved, fines paid and repair of the DISTRICT CSTS SYSTEM(S) have been completed.

7.3.2. WRITTEN NOTICE. Upon a violation of this ORDINANCE or an emergency closure of shut-off valve to a USER, said USER will receive a written Notice notifying them of the facts. The notice shall be served in person or by certified or registered mail.

If the property is not occupied and ownership of the property cannot be ascertained, or in the event that personal service cannot be made, or re-certified or registered mail is returned, notice is deemed served when posted on the property or deposited in the U.S. Mail. A written notice shall specify the steps to be taken to correct the violation(s), and the time, not to exceed thirty days (30 days), within which the violation(s) must be corrected. If the violation(s) is not corrected within the time specified within the notice, then the BOARD may abate the violation(s) itself after conducting a hearing.

7.3.3. HEARING. A hearing notice shall be served in the same manner as described above and shall be given at least ten days (10 days) prior to the date of the hearing before the BOARD. In order to expedite matters the BOARD may in its discretion, include notice of the aforementioned hearing in the original notice of violation(s).

7.3.4. If after conducting a hearing on the matter, the BOARD determines that the correction of the violation(s) is necessary to protect the public health, safety and welfare of the DISTRICT USERS, then the BOARD may correct the violation(s), or cause the same to occur, in any manner and using any method that it finds appropriate.

7.4. COSTS TO CORRECT VIOLATION(S). The cost of and correction of the violation(s) shall be borne by the offending USER(s). If the BOARD undertakes with the correction of said violation(s), it shall bill the landowner and/or USER, for all cost and disbursements associated, including repairs and disposal fees, service fees and attorneys' fees. If the USER does not pay such bill, then the BOARD shall certify such unpaid amounts to Scott County to be assessed against the property and to be collected with property taxes, pursuant to 366.021 and/or 429.101.

7.5. BOARD RIGHT TO SEEK ALL AVENUES OF RELIEF. The BOARD reserves the right to prosecute in criminal court and/or civil court for any remedies, including injunctive relief and reimbursement of all costs and disbursements, including Attorney's fees expended by the Township in enforcing of this ORDINANCE. Each right or remedy accruing to the Township under this ORDINANCE or at law is separate and distinct and may, in the Township's discretion, be exercised independently or simultaneously with any other right or remedy.

## **SECTION EIGHT**

### **AMENDMENTS OR CHANGES**

The BOARD may from time to time amend this ordinance.

8.1. Notice of adoption of said changes by resolution, after a public hearing, shall be kept on file and open to inspection in the office of the Credit River Township Clerk and shall be uniformly enforced.

## **SECTION NINE**

### **VALIDITY AND SEVERABILITY**

The invalidity of any Section, clause, sentence or provision of this ORDINANCE shall not affect the validity of any other part of this ORDINANCE, which can be given effect without such invalid part or parts.

## **SECTION TEN**

### **EFFECTIVE DATE**

This ORDINANCE, its rules and regulations for the Territory Environmental Subordinate Service DISTRICT shall take effect and be in full force immediately following its adoption and publication by the Credit River Town Board of Supervisors.

Passed by the Town Board of the Town of Credit River this \_\_\_\_ day of \_\_\_\_\_  
2010.

This ordinance shall be effective upon passage and publication in the official Township newspaper.

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Leroy Schommer, Chairman  
Credit River Township

ATTEST:

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Cathy Haugh, Clerk  
Credit River Township

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**CREDIT RIVER TOWNSHIP  
SCOTT COUNTY  
STATE OF MINNESOTA**

**ORDINANCE NO. 2013-01**

**SUMP PUMP ORDINANCE**

BE IT ORDAINED by the Credit River Town Board, Scott County, Minnesota, as follows:

**Section 1. Purpose.**

The Town Board finds that the discharge of water from roof, surface, ground water sump pump, footing tile, swimming pool or other natural precipitation into the Township's community sewage system will, and has on numerous occasions in the past, flood and overload the sanitary sewage system to such an extent as to cause significant and grave damage to the community sewer treatment system and its appurtenances. The Town Board, therefore, finds it essential to the minimization of damage to Township property and to meet Minnesota Pollution Control Agency permit requirements that the provisions of this ordinance be strictly enforced to avoid emergencies in the future.

**Section 2. Unpolluted waters prohibited in sanitary sewer system.**

It shall be unlawful for any owner, occupant, or user of any premises to direct into or allow any storm water, surface water, ground water or water from commercial air conditioning systems, pools or spas to drain into a Township owned community sewer system. This includes, but is not limited to, the following: water from any roof, surface or ground sump pump, foundation drain, hot tub or swimming pool.

**Section 3. Inspections and enforcement.**

- A. Every person owning improved real estate that discharges into a Township owned community sewer system shall allow an officer of the Township or its designated representatives to inspect the buildings to confirm that there is no sump pump or other prohibited discharge into the Township owned community sewer system.
- B. Noncompliance:
  - 1. Within thirty (30) days of initial inspection, any person, firm, or corporation having a roof, surface, ground sump pump, foundation drain, or swimming pool discharging into the community sewer system shall disconnect and/or remove same.



2. Any disconnects or openings in the sanitary sewer shall be closed or repaired in an effective and workmanlike manner as approved by the Township or its designated agent.
  3. Any person refusing to allow his property to be inspected shall immediately become subject to the surcharge hereinafter provided for.
  4. Any property owner found to violate this ordinance shall make the necessary changes to comply with this ordinance within thirty (30) days of the initial inspection.
  5. A surcharge of one hundred dollars (\$100.00) per month is hereby imposed and added to every sewer billing to property owners who are not in compliance with this ordinance within thirty (30) days of initial inspection. This surcharge is in addition to any other penalties and cost of repairs that may be incurred under this ordinance. Should a single-family unit property owner found to be in compliance with this ordinance and during a subsequent inspection found to have reconnected an illegal source to the sanitary sewer shall immediately become subject to this surcharge.
  6. Property owners shall be financially responsible for the repair of any damage which may occur to the community sewer treatment system and its appurtenances as well as any CSTS operator service charges incurred by the Township as a result of a violation of this ordinance. The cost of repairs and service charges shall be certified to the property owner's property taxes pursuant to applicable Minnesota statutes.
- C. Future Inspections: At any future time, the Township may conduct random inspections if the Township has reason to suspect that an illegal connection exists on a property to ensure compliance with this ordinance.


#### **Section 4. Penalties for Violation.**

In addition to the surcharge and costs referenced in Section 4, violations of this ordinance are a misdemeanor and are punishable by the current maximum allowed by state law. In addition the cost of prosecution may be added.

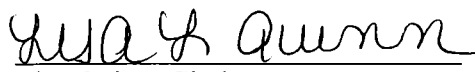
**Section 5. Severability.** Should any section, paragraph, provision, sentence or lesser part thereof of this ordinance be found to be invalid by a court of competent jurisdiction, then such invalid portion shall be severed from this ordinance and all remaining sections, paragraphs, provisions and sentences shall remain in full force and effect.

**Section 6. Effective date.** This Ordinance shall be in full force and effect from and after its passage and publication according to law.

This Ordinance is adopted this 20th day of May 2013 by the Credit River Township Board of Supervisors.

  
Brent Lawrence, Chairman  
Credit River Township

ATTEST:

  
Lisa Quinn, Clerk  
Credit River Township

